

SDA ASSESSMENT

REVISION_A_07.06.2024

ARCHITECTURAL DRAWINGS

A000	COVER SHEET	A
A001	SURVEY PLAN	A
A002	DEMOLITION PLAN	A
A003	SITING PLAN	A
A100	NDIS PLAN	A
A101	ROOF PLAN	A
A300	EXTERNAL ELEVATIONS 01	A
A301	EXTERNAL ELEVATIONS 02	A
A401	INTERNAL ELEVATIONS - KITCHEN + L'DRY	A
A402	INTERNAL ELEVATIONS - ENS + BATH	A
A500	TYPICAL DETAILS	A
A600	GENERAL NOTES	A

**240501 - -9 FRONSAC AVENUE
CORIO VIC 3214**

COMMUNITY CARE ACCOMMODATION

SUBJECT SITE
523.00m²

NEARBY AMENITIES

SHOPPING

1. CORIO VILLAGE - 750m
2. BELLPOST SHOPPING CENTRE - 3.8km
3. GEELONG GATE HOMEMAKER CENTRE - 2.9km

TRANSPORT

1. CORIO TRAIN STATION - 2.9km
2. NORTH SHORE TRAIN STATION - 3.2km
3. BUS SERVICES
- HARPUR RD/ BACCHUS MARSH RD - 350m

EDUCATION

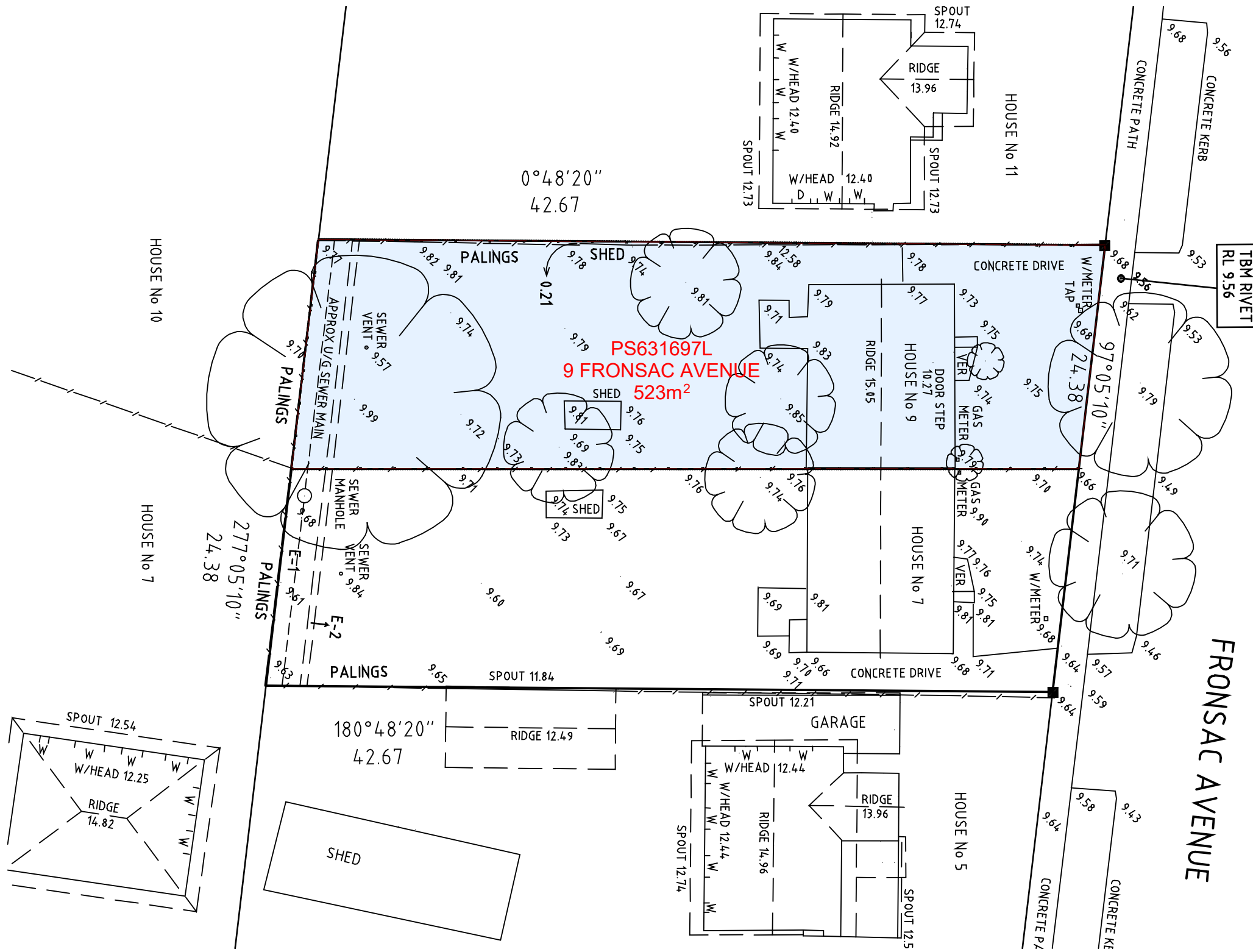
1. NORTHERN BAY COLLEGE - 550m
2. ST.FRANCIS XAVIER SCHOOL - 1.4km
3. ST.THOMAS PRIMARY SCHOOL - 1.7km
4. CORIO KINDERGARTEN - 1.4km
5. MONTESSORI MINDS CHILDCARE - 2.4km

HEALTH

1. CORIO COMMUNITY HEALTH CENTRE - 700m
2. FIRST POINT MEDICAL CENTRE - 1.1km
3. CORIO MEDICAL CLINIC - 800m
4. GEELONG HEALTHCARE - 2.3km

OPEN SPACE

1. DETROIT RESERVE - 600m
2. STEAD PARK PLAYGROUND - 1.2km
3. GOLDSWORTHY RESERVE - 1.0km
4. CORIO COMMUNITY PARK - 900m



FOR CONSTRUCTION

Issue A A	Description SDA ASSESSMENT	Date 07.06.2024	Client YOUNUS KHAN & SOBIA YOUNUS	Project 9 FRONSAC AVENUE CORIO VIC 3214	Title SURVEY PLAN	Drawing No. A001	Issue AA
						Scale 1 : 250	Drawing Size A3
						Project No. 240501 -	Drawn BYS
						CAD Reference 8/06/2024 6:52:12 PM	

Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately.

PROJECT INFORMATION

ADDRESS:
9 FRONSAC AVENUE
CORIO VIC 3214

LOCAL GOVERNMENT:
CITY OF GREATER GEELONG

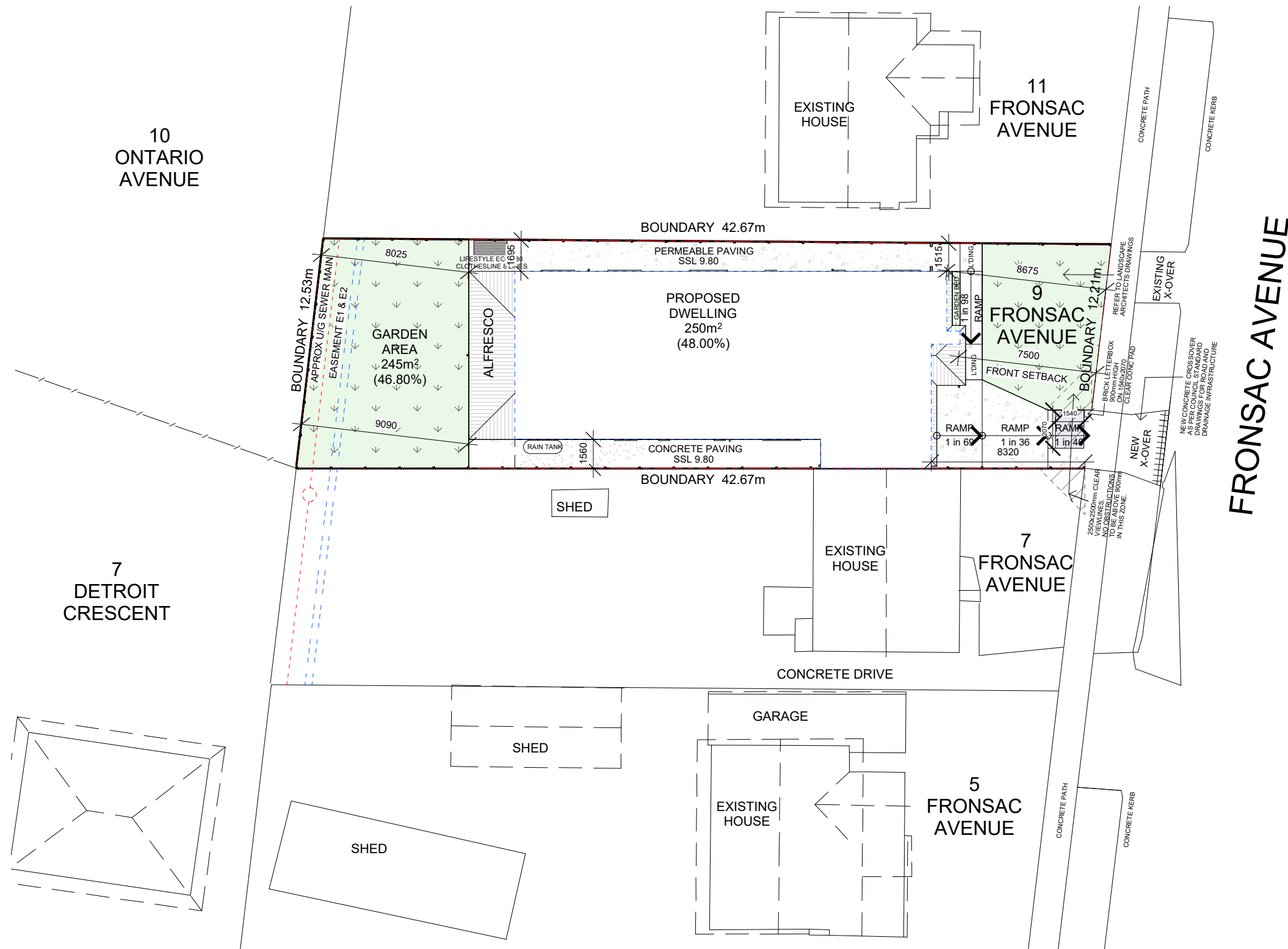
SITE AREA: 523m²

DWELLING AREA:
INTERNAL: 200.00m²
GARAGE: 25.00m²
PORCH: 3.00m²
ALFRESCO: 22.00m²

SITE COVERAGE: (LESS THAN 60%)
250.00m² - 48.00%

PERMEABILITY: (MORE THAN 20%)
160.00m² - 30.60%

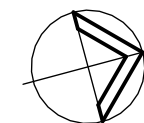
GARDEN AREA: (MORE THAN 35%)
245.00m² - 46.80%



FOR CONSTRUCTION

Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A A	SDA ASSESSMENT	07.06.2024		9 FRONSAC AVENUE CORIO VIC 3214	SITING PLAN	A003	AA
						Scale 1 : 250	Drawing Size A3
						Project No. 240501 -	Drawn BYS
						CAD Reference 8/06/2024 6:52:13 PM	

Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately.



SDA NOTES
 ALL INTERNAL DOORWAYS SHALL HAVE A LEVEL TRANSITION AND THRESHOLD. (MAXIMUM 3mm OR 5mm BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED.

SLIP RESISTANCE OF ALL INTERNAL FLOOR TYPES SHALL BE A MINIMUM OF P3 OR R10

SLIP RESISTANCE OF ALL EXTERNAL FLOOR TYPES SHALL BE A MINIMUM OF P4 OR R11

SLIP RESISTANCE FOR 1:10 STEP RAMP SHALL BE A MINIMUM OF P5 OR R12

ALL EXTERNAL & COMMON WALLS TO BE NON-COMBUSTIBLE.

ONE OF THE HALLWAY CUPBOARDS ON GROUND FLOOR TO BE FITTED WITH ADJUSTABLE HEIGHT SHELVES

SHOWERS TO BE HOBBLES.
 SHOWER GRADIENT TO BE BETWEEN 1:60 - 1:80.

ALL DOORS AND WINDOWS SHALL BE PROVIDED WITH LOCKS

ALL WINDOW SILLS IN LIVING AREAS AND AT LEAST ONE WINDOW SILL IN EACH PARTICIPANTS BEDROOM SHALL BE POSITIONED NO HIGHER THAN 1000mm ABOVE THE FFL

ALL DOOR HANDLES TO BE INSTALLED BETWEEN 900mm AND 1100mm ABOVE THE FFL

DOOR HANDLE SELECTION AND LOCATION TO COMPLY WITH AS1428.1

INTERNET TO BE INSTALLED AND OPERATIONAL PRIOR TO PARTICIPANT OCCUPATION

FRONT LANDSCAPING TO BE BUILT AND PLANTED BY THE BUILDER

ALL GLAZING TO BE PROVIDED TO BE LAMINATED SAFETY GLASS

AN ACCESSWAY SHALL HAVE:
 NO STEPS
 A LEVEL TRANSITION OF SURFACE MATERIALS
 A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN ABUTTING SURFACES IS PERMITTED, AS LONG AS THE LIP IS ROUNDED OR BEVELLED
 AN EVEN AND FIRM SURFACE
 A CROSS FALL OF NOT MORE THAN 1:40

SMOKE ALARMS TO BE PROVIDED IN BEDROOMS AND LIVING SPACES

ALL LIGHT SWITCHES TO BE POSITIONED BETWEEN 900mm - 1000mm ABOVE FFL, AND HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM

GPO / WINDOW CONTROLS SHALL BE LOCATED BETWEEN 600mm AND 1100mm ABOVE THE FFL

ALL THREE BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST. THE HOIST SHALL BE CAPABLE OF GOING ACROSS THE BED AND DOWN THE BED. MIN LOAD CAPACITY OF THE HOIST SHALL BE 250KG. HOIST IS TO BE CAPABLE OF BEING EITHER CEILING MOUNTED OR WALL MOUNTED

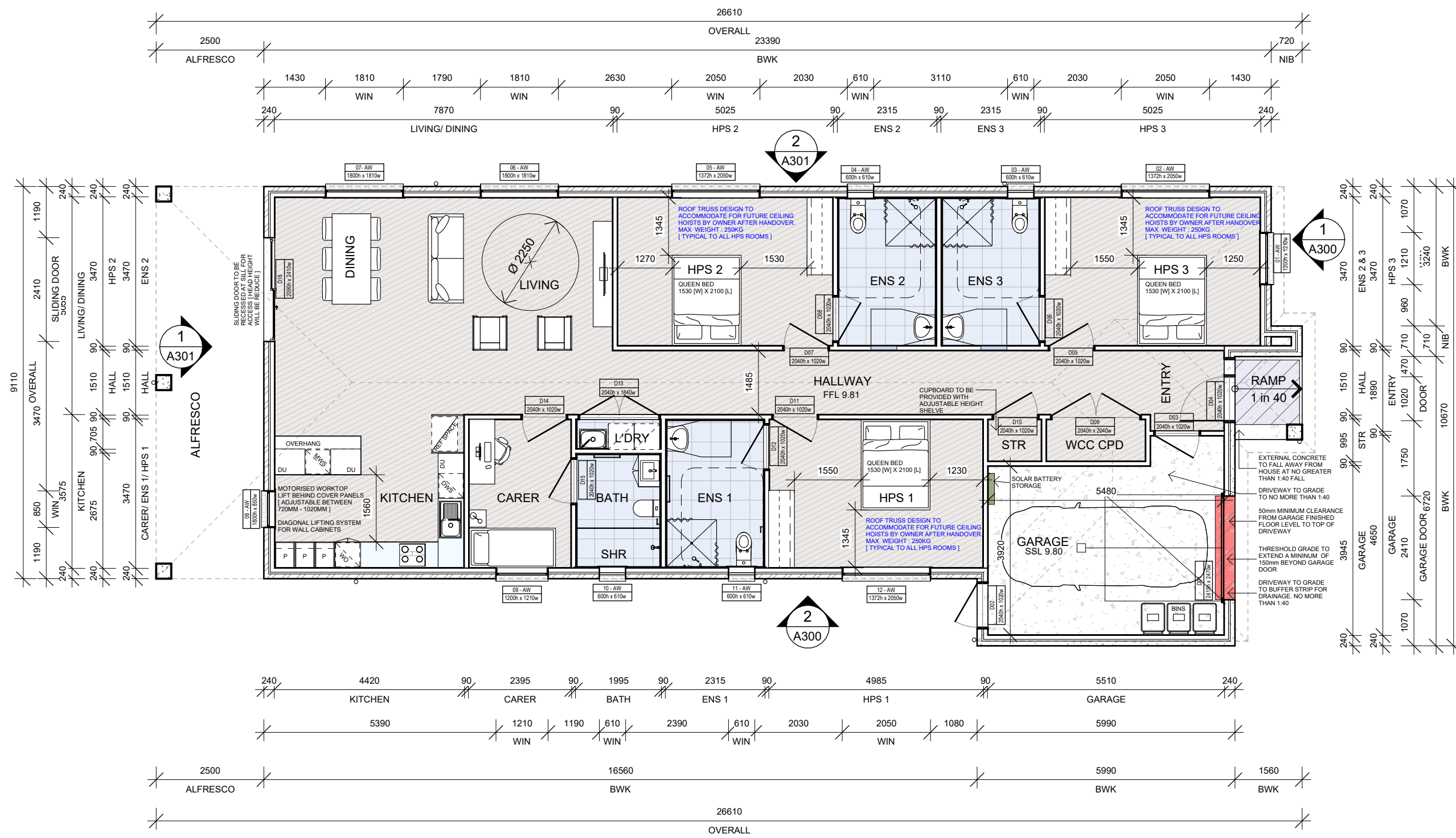
ENTRY DOOR TO BE SOLID CORE DOORS

GLAZING MATERIAL TO BE LAMINATED GLASS SOLID (AND TRANSLUCENT) CONTRASTING GLAZING STRIP OF 75MM WIDTH AND BETWEEN 900MM TO 1000MM ABOVE FFL SHALL BE PROVIDED FOR THE FULL WIDTH OF A GLAZED AREA WHICH COULD BE MISTAKEN FOR AN OPENING

THE ENTRANCE MUST INCORPORATE WATERPROOFING AND TERMITE MANAGEMENT REQUIREMENTS AS SPECIFIED IN THE NCC

LAMINATED GLASS OR POLYCARBONATEE RESIN THERMOPLASTIC TO BE PROVIDED TO ALL GLAZED DOORS AND SIDE LIGHTS.

DB TO BE PROVIDED WITH NON-COMBUSTIBLE ENCLOSURE WITH SMOKE SEALS



FLOOR AREA - U1	
GARAGE	25.00m ²
INTERNAL	200.00m ²
PORCH	3.00m ²
ALFRESCO	22.00m ²
TOTAL	250.00m²

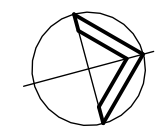
SITE AREA	523m ²
SITE COVERAGE	48%
GARDEN AREA	46.80%
PERMEABILITY	30.60%

LEGEND	
FLOOR FINISHES	WINDOW
LF01 LAM. TIMBER FLOORING	SW = SLIDING WINDOW
TF01 TILES FLOORING	AW = AWNING WINDOW
VF01 VINYL FLOORING	FW = FIXED WINDOW
CONCRETE PAVING	SD = SLIDING DOOR
	OG = OBSCURE GLASS

FOR CONSTRUCTION

Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A A	SDA ASSESSMENT	07.06.2024		9 FRONSAC AVENUE CORIO VIC 3214	NDIS PLAN	A100	AA
						Scale	Drawing Size
						1 : 100	A3
						Project No.	Drawn
						240501 -	ByS
						CAD Reference	
						8/06/2024 6:52:14 PM	

Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately.



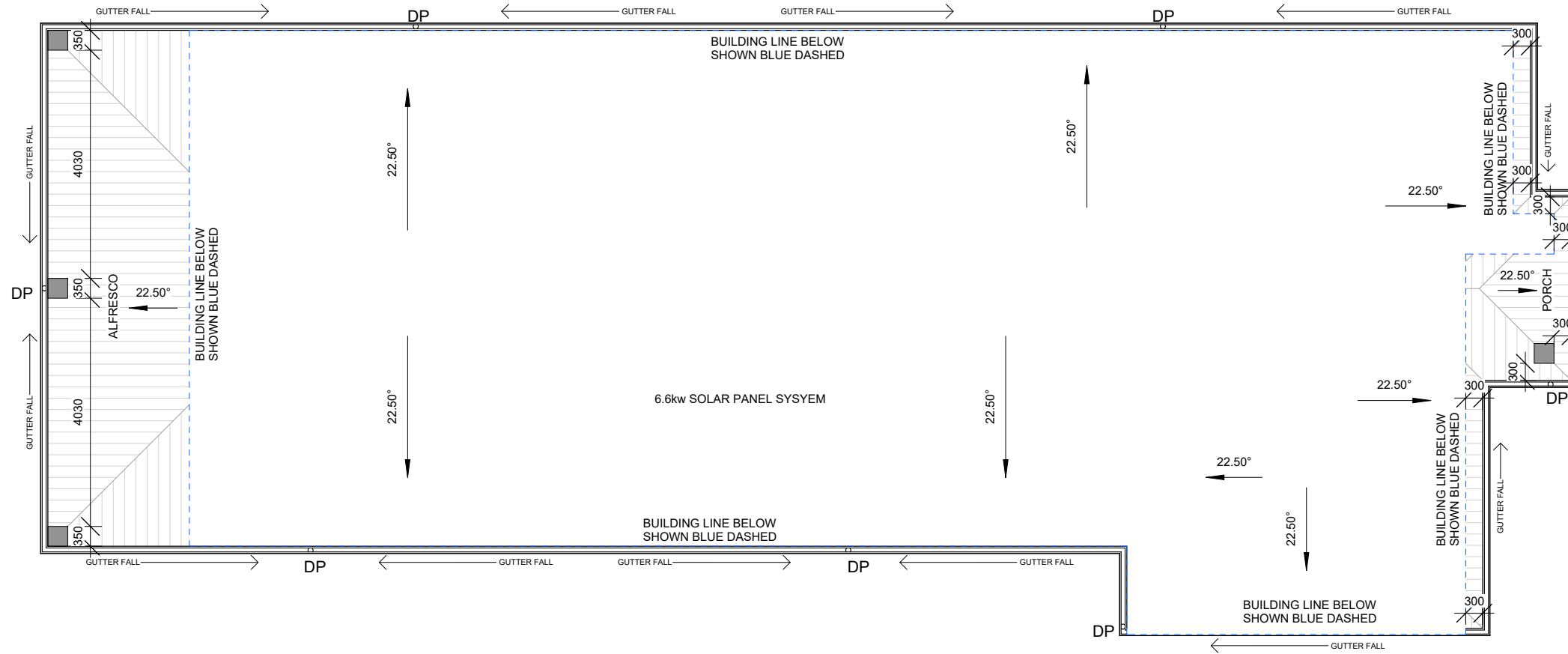
- NOTES:
- EMERGENCY POWER SOLUTIONS SHALL BE PROVIDED TO CATER FOR A MINIMUM 2-HOUR OUTAGE IN NO LESS THAN 2 DOUBLE GPOS IN PARTICIPANT BEDROOMS AND ANY PROVIDED AUTOMATED DOORS THAT ARE USED FOR ENTRY OR EGRESS.
 - INTERNET CONNECTION SHALL BE PROVIDED WITH THE ABILITY FOR HIGH INTERNET SPEEDS TO BE MAINTAINED AND STABLE IN NATURE WITH WI-FI COVERAGE THROUGHOUT ALL AREAS OF THE DWELLING.
 - A VIDEO, INTERCOM OR OTHER COMMUNICATION SYSTEM SHALL BE PROVIDED TO ENABLE COMMUNICATION BETWEEN THE PARTICIPANT AND THEIR SUPPORTS WHEN NOT WITHIN LINE OF SIGHT.
 - REVERSE CYCLE AIR-CONDITIONING SHALL BE PROVIDED TO LIVING AREAS AND BEDROOMS WITH CONTROL PANELS IN AN ACCESSIBLE LOCATION BETWEEN 900MM AND 1100MM FROM FFL AND NOT CLOSER THAN 500MM TO ANY INTERNAL CORNER.

THE FOLLOWING GPOS SHALL BE PROVIDED:

- THREE DOUBLE GPO ON THE WALL WHERE THE HEAD OF THE BED IS LIKELY TO BE, AND
- AT LEAST ONE DOUBLE GPO ON THE WALL OPPOSITE THE WALL WHERE THE HEAD OF THE BED IS LIKELY TO BE.

- POWER AND CONTROL CABLING TO WINDOWS OF BEDROOMS AND LIVING AREAS SHALL BE PROVIDED FOR FUTURE WINDOW BLIND AUTOMATION. A CAPPED GPO AT THE WINDOW HEAD MAY BE PROVIDED TO COMPLY WITH THIS REQUIREMENT.

- POWER AND CONTROL CABLING TO HEAD OF ENTRY DOORS OF PARTICIPANT BEDROOMS, ONE EXTERNAL ENTRY DOORWAY TO AN OPEN AREA (WHERE PROVIDED) SHALL BE PROVIDED FOR FUTURE AUTOMATION. A CAPPED GPO AT THE DOOR HEAD MAY BE PROVIDED TO COMPLY WITH THIS REQUIREMENT.

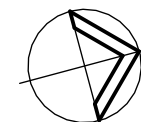


FOR CONSTRUCTION

Issue	Description	Date	Client
A A	SDA ASSESSMENT	07.06.2024	

Project
9 FRONSAC AVENUE
CORIO VIC 3214

Title
ROOF PLAN



Drawing No. A101	Issue AA
Scale 1 : 100	Drawing Size A3
Project No. 240501 -	Drawn BYS

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CAD
Reference
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WINDOW & DOOR DIMENSIONS
 ALL WINDOW & DOOR DIMENSIONS TO REFER WINDOW & DOOR SCHEDULES.

WINDOW CONFIGURATION
 ALL WINDOWS TO HAVE A HEAD HEIGHT OF 2143mm ABOVE FFL.

INFILL MATERIALS OVER ALL DOORS & WINDOWS TO MATCH ADJACENT WALL

ARTICULATION JOINTS
 VERTICAL ARTICULATION JOINT LOCATIONS SHOWN ARE A GUIDE ONLY. LOCATIONS MAY BE ALTERED ON SITE AS DETERMINED BY BRICK LAYER - TO COMPLY WITH N.C.C. 3.3.5.13 AND AS 3700-2001.

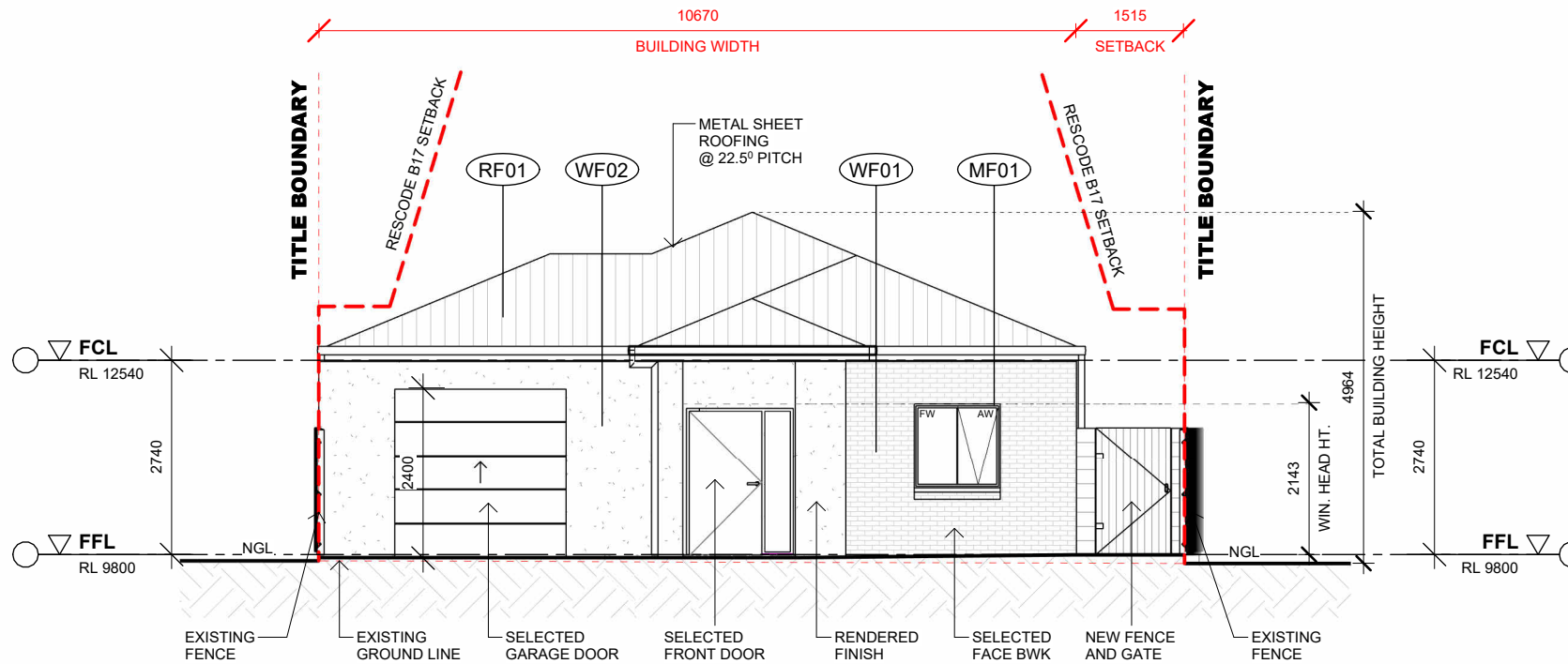
ROOF
 METAL ROOF @22.5° PITCH
 TIMBER TRUSSES AS PER MANUFS. SPEC

NO EAVES FROM BRICK WORK [EXCLUDING THE FACADE]
 300mm EAVES FROM BRICKWORK WHERE SHOWN.

DOWNPIPES TO BE PROVIDED @ 1 PER 60M2 AND/OR EVERY 12m IN DISTANCE .EXCLUDING BOX GUTTERS & RAINHEADS






SOLAR PANEL LOCATION TO COMPLY WITH MANUFACTURERS REQUIREMENTS ANDS AS/NZ 3500 PLUMBING & DRAINAGE.

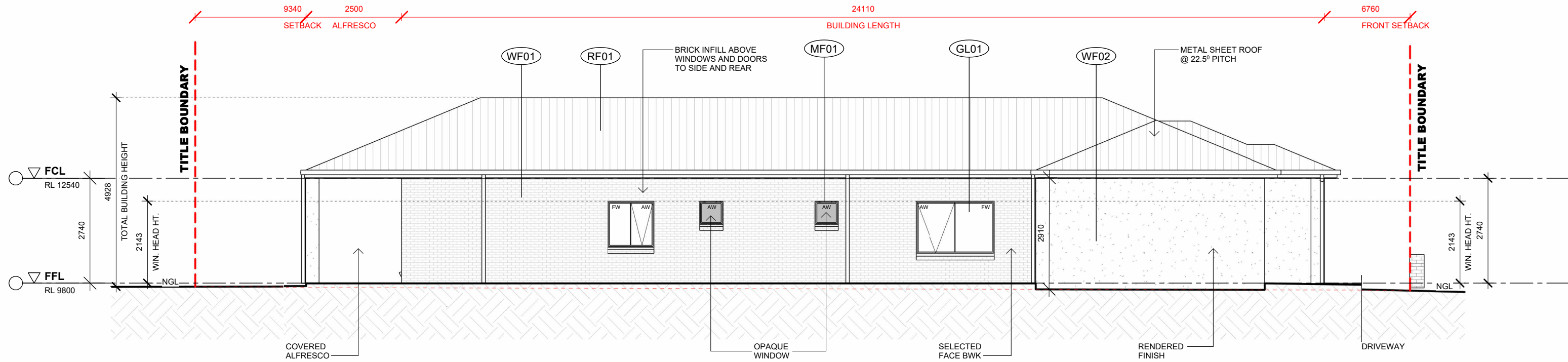
NO LIGHTWEIGHT INFILL MATERIAL OVER WINDOWS & DOORS TO BE VISABLE FROM ANY ROAD OR PUBLIC RESERVE.



1 NORTH ELEVATION
 A100 SCALE 1 : 100

MATERIALS SCHEDULE

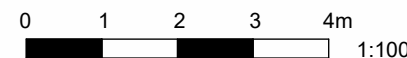
-  WF01
PGH 'PUTTY' BRICKS FINISH OR SIMILAR
-  WF02
DULUX 'BEIGE ROYAL' RENDER FINISH OR SIMILAR
-  GL01
CLEAR GLAZING
-  RF01
COLORBOND ROOF SHEETING 'DUNE' OR SIMILAR
-  MF01
ALUMINIUM FINISH COLORBOND 'DUNE' OR SIMILAR



2 EAST ELEVATION
 A100 SCALE 1 : 100

FOR CONSTRUCTION

Issue A A	Description SDA ASSESSMENT	Date 07.06.2024	Client YOUNUS KHAN & SOBIA YOUNUS	Project 9 FRONSAC AVENUE CORIO VIC 3214	Title EXTERNAL ELEVATIONS 01	Drawing No. A300	Issue AA
						Scale As indicated	Drawing Size A3
						Project No. 240501 -	Drawn BYS
						CAD Reference 8/06/2024 6:52:17 PM	



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WINDOW & DOOR DIMENSIONS
 ALL WINDOW & DOOR DIMENSIONS TO REFER WINDOW & DOOR SCHEDULES.

WINDOW CONFIGURATION
 ALL WINDOWS TO HAVE A HEAD HEIGHT OF 2143mm ABOVE FFL.

INFILL MATERIALS OVER ALL DOORS & WINDOWS TO MATCH ADJACENT WALL

ARTICULATION JOINTS
 VERTICAL ARTICULATION JOINT LOCATIONS SHOWN ARE A GUIDE ONLY. LOCATIONS MAY BE ALTERED ON SITE AS DETERMINED BY BRICK LAYER - TO COMPLY WITH N.C.C. 3.3.5.13 AND AS 3700-2001.

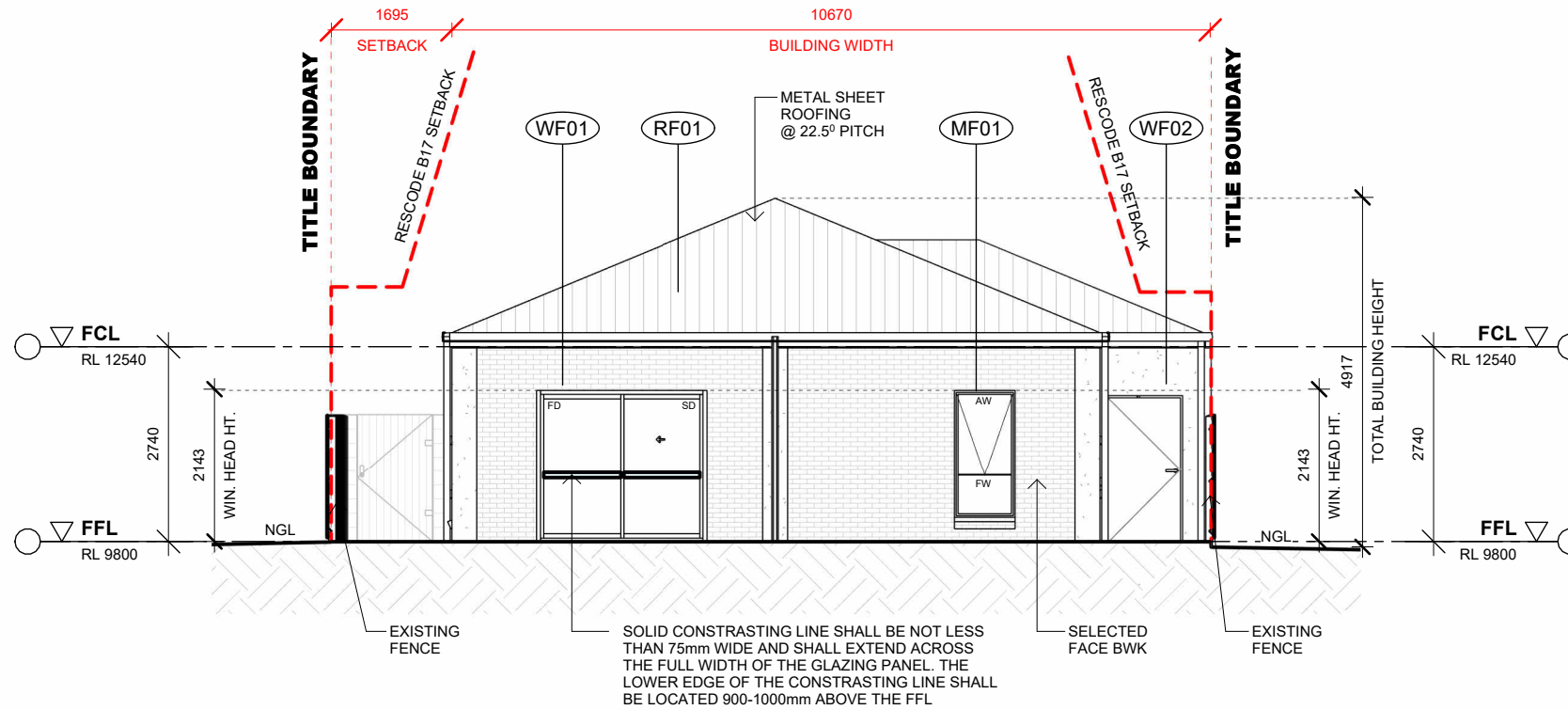
ROOF
 METAL ROOF @22.5° PITCH
 TIMBER TRUSSES AS PER MANUFS. SPEC

NO EAVES FROM BRICK WORK [EXCLUDING THE FACADE]
 300mm EAVES FROM BRICKWORK WHERE SHOWN.

DOWNPIPES TO BE PROVIDED @ 1 PER 60M2 AND/OR EVERY 12m IN DISTANCE .EXCLUDING BOX GUTTERS & RAINHEADS

SOLAR PANEL LOCATION TO COMPLY WITH MANUFACTURERS REQUIREMENTS ANDS AS/NZ 3500 PLUMBING & DRAINAGE.

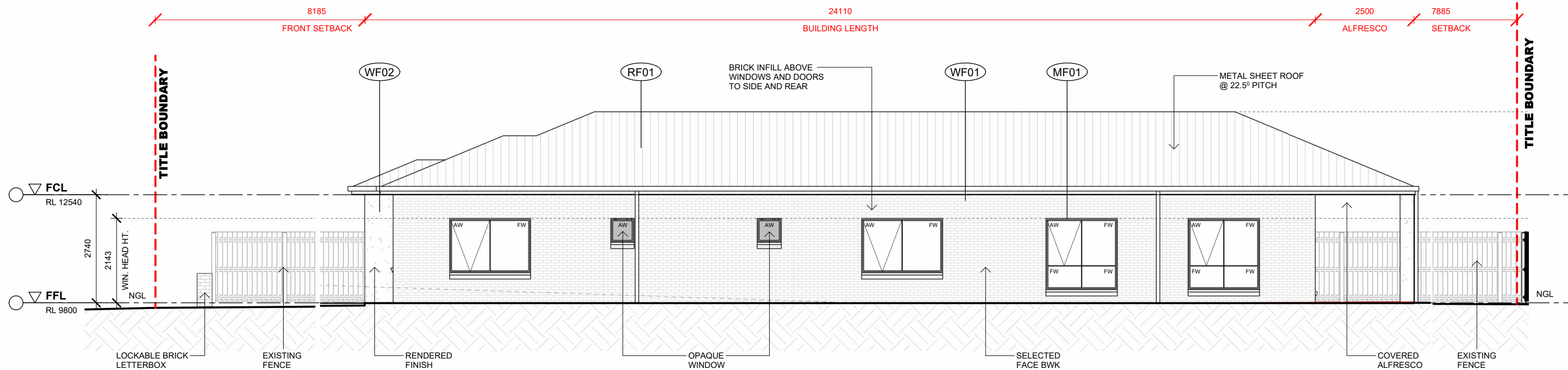
NO LIGHTWEIGHT INFILL MATERIAL OVER WINDOWS & DOORS TO BE VISABLE FROM ANY ROAD OR PUBLIC RESERVE.



1 SOUTH ELEVATION
 A100 SCALE 1 : 100

MATERIALS SCHEDULE

- WF01 PGG 'PUTTY' BRICKS FINISH OR SIMILAR
- WF02 DULUX 'BEIGE ROYAL' RENDER FINISH OR SIMILAR
- GL01 CLEAR GLAZING
- RF01 COLORBOND ROOF SHEETING 'DUNE' OR SIMILAR
- MF01 ALUMINIUM FINISH COLORBOND 'DUNE' OR SIMILAR



2 WEST ELEVATION
 A100 SCALE 1 : 100

FOR CONSTRUCTION

Issue	Description	Date	Client
A A	SDA ASSESSMENT	07.06.2024	

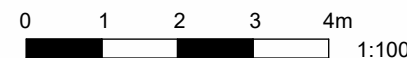
Project
 9 FRONSAC AVENUE
 CORIO VIC 3214

Title
 EXTERNAL ELEVATIONS 02

Drawing No.
 A301 Issue
 AA

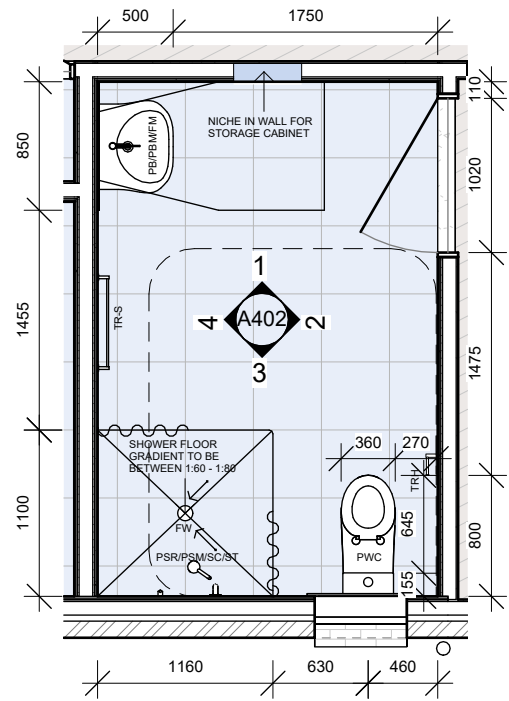
Scale
 As indicated Drawing Size
 A3

Project No.
 240501 - Drawn
 RYS

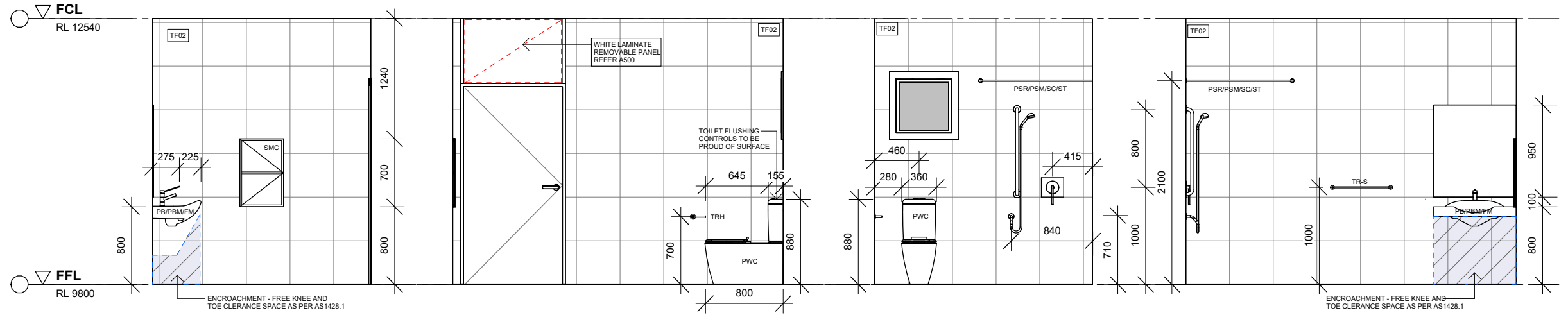


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ENS PLAN
A300 SCALE 1:50

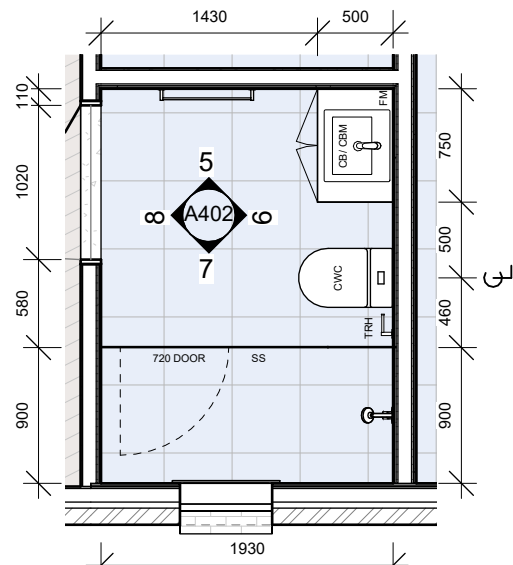


1 ENS - 1
A402 SCALE 1:50

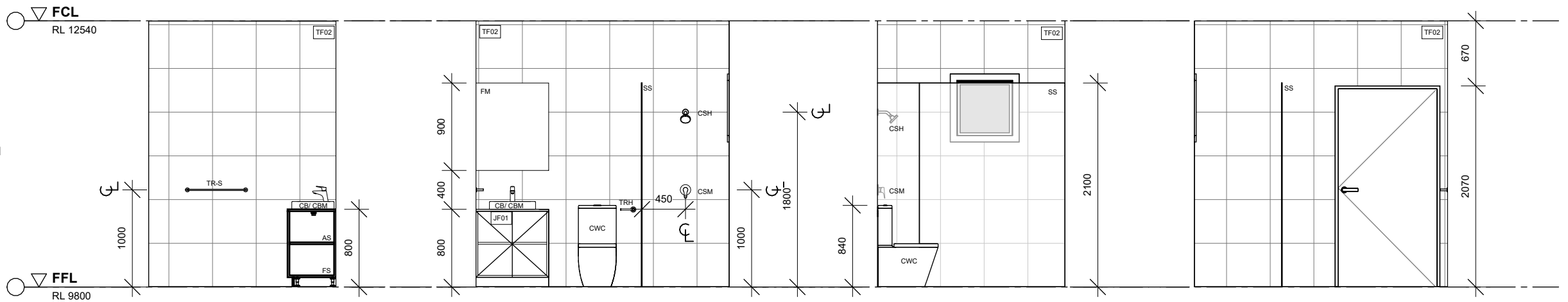
2 ENS - 2
A402 SCALE 1:50

3 ENS - 3
A402 SCALE 1:50

4 ENS - 4
A402 SCALE 1:50



BATH PLAN
A300 SCALE 1:50



5 BATH - 5
A402 SCALE 1:50

6 BATH - 6
A401 SCALE 1:50

7 BATH - 7
A402 SCALE 1:50

8 BATH - 8
A401 SCALE 1:50

NOTE
DOOR HARDWARE INSTALLED AT BETWEEN 900mm AND 1100mm FROM FFL.

SHOWER REQUIREMENT
ONLY VERTICAL GRABRAIL SHALL BE PROVIDED WITH HEIGHT ADJUSTABLE SHOWER HEAD AND HOSE AS PER AS1428.1
TAPS SHALL BE LOCATED IN A ZONE BETWEEN 900mm AND 1100mm ABOVE FFL AND AT A MINIMUM OF 300mm AND MAXIMUM OF 800mm FROM INTERNAL CORNER.
ANY TYPE OF FLOOR DRAIN INCLUDING STRIP DRAIN IS PERMITTED TO ADEQUATELY DRAIN THE SHOWER FLOOR.

WC REQUIREMENT
WC PAN SHALL BE AS1428.1 COMPLIANT [AS PER REQUIREMENTS FOR ACCESSIBLE UNISEX TOILET AND NOT AS PER AMBULANT TOILET]
BACKREST SHALL NOT BE PROVIDED , UNLESS SPECIFICALLY REQUIRED BY THE PARTICIPANT .

LEGEND

PB - PARTICIPANT BASIN	SC - SHOWER CURTAIN
CB - CARER BASIN	ST - SHOWER TRACK
PBM - P. BASIN MIXER	TRH - TOILET ROLL HOLDER
PSM - P. SHOWER MIXER	SS - SHOWERSCREEN
PSH - P. SHOWER HEAD	FM - FIXED MIRROR
PWC - PARTICIPANT TOILET	TF02 - TILE FINISH
CBM - CARER BASIN MIXER	TF03 - SPLASHBACK
CSM - CARER SHOWER MIXER	VF02 - VINYL FINISH
CSH - CARER SHOWER HEAD	PF03 - PAINT FINISH
CWC - CARER TOILET	JF01 - VANITY CABINET
TR-S - TOWEL RAIL - SINGLE	BT01 - BENCHTOP

FOR CONSTRUCTION

Issue	Description	Date	Client
A A	SDA ASSESSMENT	07.06.2024	

Project
9 FRONSAC AVENUE
CORIO VIC 3214

Title
INTERNAL ELEVATIONS - ENS + BATH

Drawing No.
A402

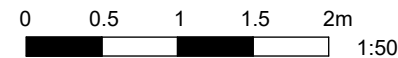
Issue
AA

Scale
1:50

Drawing Size
A3

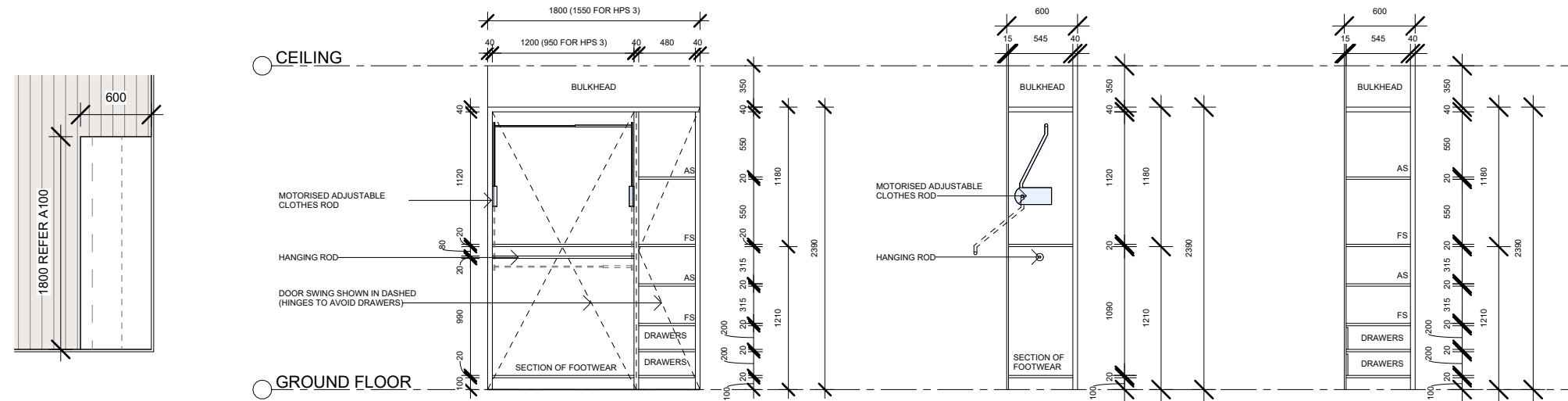
Project No.
240501 -

Drawn
RYS



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CAD
Reference
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NDIS REQUIREMENT
 1. DOOR HARDWARE INSTALLED AT BETWEEN 900MM AND 1100MM FROM FFL

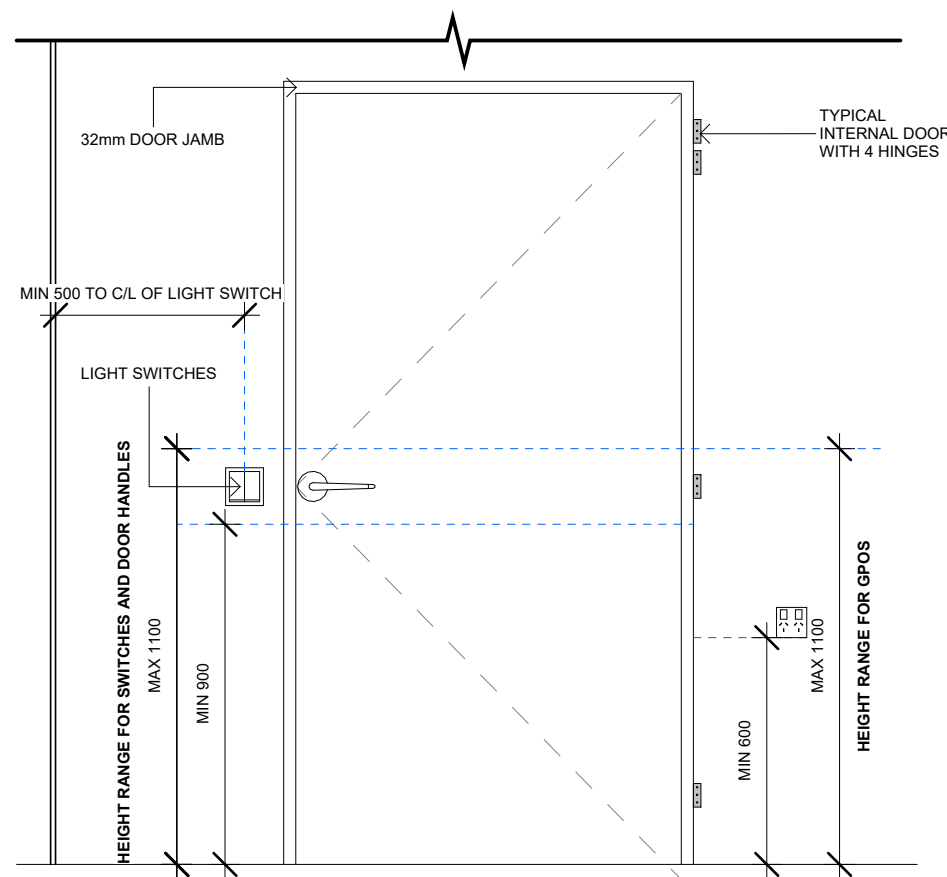
NOTE:
 ALL FILLER PANEL SIZING TO BE THE DISCRETION OF THE JOINERY MANUFACTURERS

HPS WARDROBE - PLAN
 SCALE 1:50

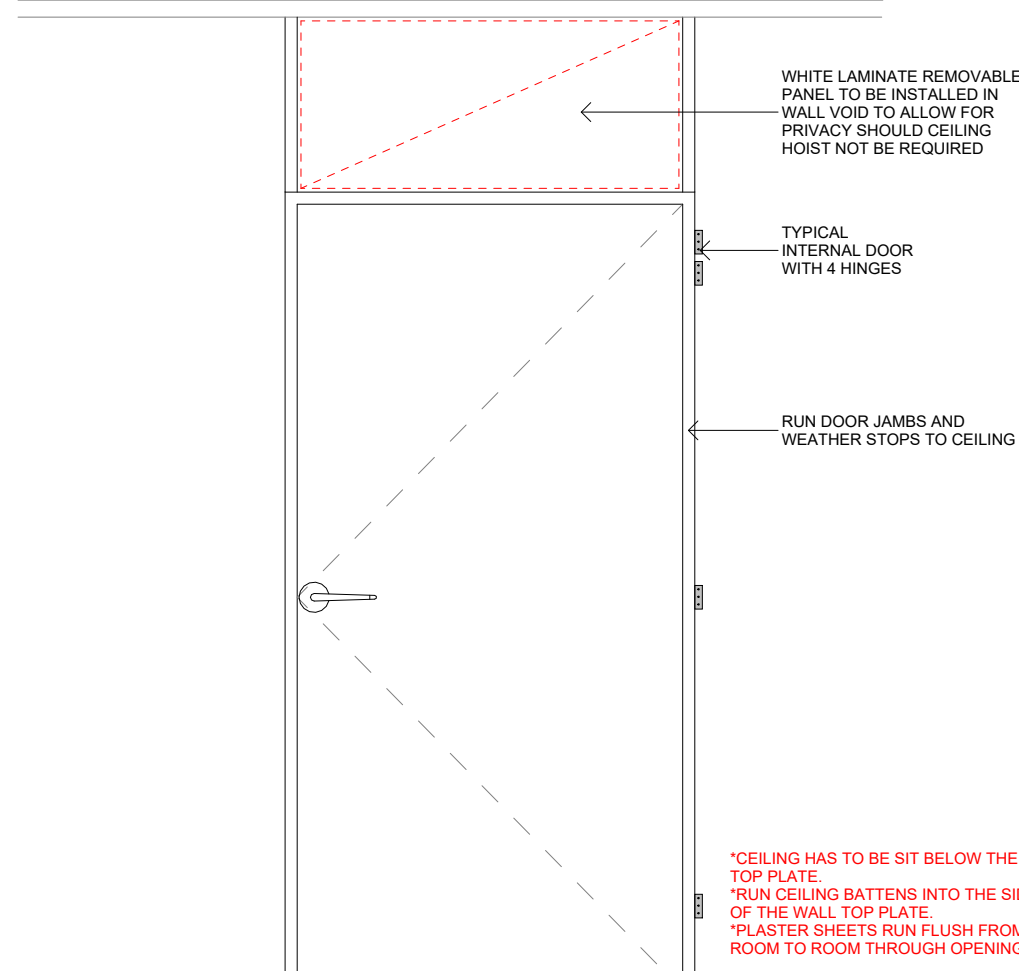
HPS WARDROBE - ELEVATION
 SCALE 1:50

HPS - SECTION 1
 SCALE 1:50

HPS - SECTION 2
 SCALE 1:50



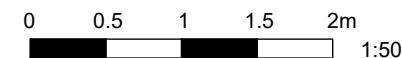
TYPICAL INTERNAL DOOR DETAIL
 SCALE 1:20



TYPICAL DOOR DETAIL - REMOVABLE STUDS [HPS BATH DOOR]
 SCALE 1:20

FOR CONSTRUCTION

Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A A	SDA ASSESSMENT	07.06.2024		9 FRONSAC AVENUE CORIO VIC 3214	TYPICAL DETAILS	A500	AA
						Scale	Drawing Size
						As indicated	A3
						Project No.	Drawn
						240501 -	BY
						CAD Reference	
						8/06/2024 6:52:22 PM	



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GENERAL ARCHITECTURAL NOTES

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2017, THE NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 1 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.

- UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 1.

- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. WHERE A PERFORMANCE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.

- GLAZING, INCLUDING LAMINATED SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKENSS SO AS TO COMPLY WITH:

- AS1288-2006 AND AS2047-1999

- THERMAL ASSESSMENT

- TO MEET SAFETY REQUIREMENTS FOR DISABILITY HOUSING

- WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010:
WATERPROOFING OF DOMESTIC WET AREAS.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALERATION.

- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:

- RISERS (R) 190mm MAXIMUM AND 115mm MINIMUM

- GOING (G) 355mm MAXIMUM AND 240mm MINIMUM

- 2R + 1G = 700mm MAXIMUM AND 550mm MINIMUM

- CONSTRUCTED WITH A LESS THAN 125mm GAP TO OPEN TREADS.

- ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.

- PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDSINGS, RAMPS AND/ OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) TO BE:

- 1000mm MINIMUM ABOVE FINISHED SURFACE LEVEL OR

BALCONIES, LANDINGS OR THE LIKE, AND

- 865mm MINIMUM ABOVE FINISHED SURFACE LEVEL OF STAIR

NOSING OR RAMP, AND

- VERTICAL WITH A LESS THAN 125mm GAP BETWEEN, AND

- ANY HORIZONTAL ELEMENT WITHIN THE BARRIER BETWEEN

150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE

CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000mm

ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/ OR TREADS.

WIRE BARRIER CONSTRUCTION TO COMPLY WITH NCC 2016 BCA PART3.9.2.3 FOR

CLASS 1 AND 10 BUILDINGS AND NCC 2016 BCA VOLUME 1, PART D2.16 FOR OTHER

CLASSES OF BUILDINGS.

- TOP OF HAND RAILS TO BE MINIMUM 865mm VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.

- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND. BUILDER TO CONFIRM WINDOW SIZES ON SITE AND WINDOWS ORDERED SHOULD BE TO A STANDARD SIZE AS CLOSE TO THE NOMINATED SIZES AS POSSIBLE.

WHERE THE BUILDING IS LOCATED IN A TERMITE PRONE AREA, TERMITE PROTECTION TO BE IN ACCORDANCE WITH BCA PART 3.1.3 AND AS3660.

NDIS SPECIALIST DISABILITY ACCOMODATION DESIGN STANDARDS EDITION 1.1 OCTOBER 2019

CONTRACTER TO ENSURE CONSTRUCTION WILL COMPLY WITH THE *NDIS SDA DESIGN STANDARDS* AND DOCUMENTATION REVIEWED AND APPROVED BY THE INDEPENDENT SDA ASSESSMENT COMPLETED BY 3D ACCESS.

INSULATION

REFER TO ENERGY RATING REPORT REQUIREMENTS

MASONRY

MASONRY TO BE IN ACCORDANCE WITH AS3700

AJ : DENOTES BRICK ARTICULATION JOINTS. BUILDER IS TO PROVIDE BRICK ARTICULATION JOINTS LOCATED IN COMPLIANCE WITH RECOMMENDATIONS IN GEOTECHNICAL SITE INVESTIGATION REPORT AS PER DRAWING & AT MAX CENTERS. ARTICULATION JOINTS TO EXTERNAL WALLS ARE REQUIRED TO BE SEALED ACHIEVING FIRE RATINGS OF 60 MINUTES WHERE SETBACK IS LESS THAN 3 METRES FROM BOUNDARIES.

ROOF CLADDING

ROOF CLADDING TO BE ACCORDANCE WITH AS1562.1 2018

ROOF PLUMBING

GUTTERS AND DOWNPIPES TO BE ACCORDANCE WITH AS3500

SMOKE DETECTORS

PROVIDE SMOKE DETECTORS IN ACCORDANCE WITH THE NCC 2016 AND A.S.3786 SMOKE DETECTORS TO BE INTERCONNECTED AND CONNECTED TO MAINS POWER

-BUILDING IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF AS3700-2011 MASONRY STRUCTURES.

- ALL STORM WATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES' APPROVAL.

-THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS/ DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

- SITE PLAN MEASUREMENTS IN METRES - ALL MEASUREMENTS IN MILLIMETRES UNLESS NOTED OTHERWISE.

- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/ OR EXISTING STRUCTURES DURING ALL WORKS.

- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENTIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT SUFFICIENT DISTANCE FROM ANY BUILDING FOOTING AND/ OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

- A BUILDING PERMIT IS REQUIRED PRIOR TO COMMENCEMENT OF THESE WORKS.

- THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTISE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ALL VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING ANY VARIATION.

ENERGY EFFICIENCY:

ALL NEW WORK FOR THE PROJECT SHALL COMPLY WITH THE THERMAL ASSESSMENT AS PREPARED BY THE ENERGY RATER.

FIRE SAFETY COMPLIANCE:

THE PROPOSED DEVELOPMENT IS TO COMPLY AS FOLLOWS:

CONSTRUCTION GENERALLY - IN ACCORDANCE WITH BCA PART B1.4: MATERIALS AND FORMS OF CONSTRUCTION; SPECIFICATION C1.1: FIRE-RESISTING CONSTRUCTION FOR TYPE A? CONSTRUCTION) AND SPECIFICATION C1.11: PERFORMANCE OF EXTERNAL WALLS IN A FIRE.

EMERGENCY LIGHTING - IN ACCORDANCE WITH BCA PART E4.2 AND E4.4 AND AS 2293.1: EMERGENCY ESCAPE LIGHTING & EXIT SIGNS FOR BUILDINGS.

EXIT SIGNS - IN ACCORDANCE WITH BCA PART E4.5, E4.6, E4.8 AND AS 2293.1: EMERGENCY ESCAPE LIGHTING & EXIT SIGNS FOR BUILDINGS.

FIRE DOORS - IN ACCORDANCE WITH BCA SPECIFICATION C3.4 AND AS 1905.1: COMPONENTS FOR THE PROTECTION OF OPENINGS IN FIRE-RESISTANT WALLS- FIRE RESISTANT DOORSETS.

FIRE HYDRANT SYSTEMS - IN ACCORDANCE WITH BCA PART E1.3 AND AS 2419.1: FIRE HYDRANT INSTALLATIONS- SYSTEM DESIGN, INSTALLATION & COMMISSIONING.

FIRE HOSE REEL SYSTEMS - IN ACCORDANCE WITH BCA PART E1.4 AND AS 2441: INSTALLATION OF FIRE HOSE REELS.

PORTABLE FIRE EXTINGUISHERS - IN ACCORDANCE WITH BCA PART E1.6 AND AS 2444: PORTABLE FIRE EXTINGUISHERS AND FIRE BLANKETS - SELECTION AND LOCATION.

SMOKE AND HEAT VENTS - IN ACCORDANCE WITH BCA PART E2.2C AND AS 2665: SMOKE/HEAT VENTING SYSTEM - DESIGN, INSTALLATION AND COMMISSIONING.

SMOKE DETECTION, ALARM AND EXHAUST SYSTEMS - IN ACCORDANCE WITH BCA SPECIFICATION E2.2 AND AS 1670.1: FIRE DETECTION, WARNING, CONTROL AND INTERCOM SYSTEMS, SYSTEM DESIGN, INSTALLATION AND COMMISSIONING- FIRE.

SPRINKLERS - IN ACCORDANCE WITH BCA PART E1.5 & SPECIFICATION E1.5, AS 2118: AUTOMATIC FIRE SPRINKLER SYSTEMS. PIPEWORK AND FITTINGS SUPPORTED BY HANGERS, BRACKETS AND/OR GUIDES IN ACCORDANCE WITH AS 4118.2.1: FIRE SPRINKLER SYSTEMS: PIPING- GENERAL.

ALL MATERIALS, LININGS, SURFACE FINISHES, FITTINGS AND FIXTURES MUST COMPLY WITH BCA SPECIFICATION C1.10: FIRE HAZARD PROPERTIES.

LIGHTING:

ALL LIGHT SWITCHES TO BE POSITIONED BETWEEN 900mm - 1000mm ABOVE FFL, AND HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM

ALL LIGHT AND GPO SWITCHES SHALL BE ROCKER ACTION, TOGGLE OR PUSH PAD IN DESIGN WITH A MINIMUM WIDTH OF 35mm

DIMMABLE LIGHTING SWITCHES TO BE PROVIDED IN LIVING AREAS AND BEDROOMS

ARTIFICIAL LIGHTING TO COMPLY WITH AS1680

ENTRANCES AND DOOR HARDWARE:

ALL ENTRANCES, CORRIDORS AND DOOR HARDWARE SHALL COMPLY WITH THE NDIS DESIGN STANDARDS EDITION 1.1 OCTOBER 2019.

PATHS OF TRAVEL & EGRESS:

ALL PATHS AND ACCESSWAYS SHALL BE CONSTRUCTED TO COMPLY WITH THE NDIS DESIGN STANDARDS EDITION 1.1 OCTOBER 2019.

ALL MEANS OF EGRESS ARE TO COMPLY WITH BCA PART D1: PROVISION FOR ESCAPE.

ALL PATHS OF TRAVEL TO BE 1050MM MIN. CLEAR UNOBSTRUCTED WIDTH FOR COMPLIANCE PLUS TOLERANCE,OR AS PERMITTED BY AN APPROVED ALTERNATIVE SOLUTION.

DOORS LOCATED IN PATHS OF TRAVEL TO EXITS TO COMPLY WITH BCA VOL. 1, SECTION D2.21: OPERATION OF LATCH AND TO BE OPENABLE AT ALL TIMES WITHOUT THE USE OF A KEY FROM THE SIDE THAT FACES A PERSON SEEKING EGRESS, BY A SINGLE DOWNWARD HAND ACTION LOCATED ON A SINGLE DEVICE BETWEEN 900MM AND 1100MM FROM THE FLOOR.

STAIRS, HANDRAILS AND BALUSTRADES ARE TO COMPLY WITH BCA SECTIONS D2.12, D2.13, D2.14, D2.15, D2.16 AND D2.17.

EASE OF DOOR OPENING - NON-AUTOMATIC DOORS MUST OPEN MANUALLY UNDER A FORCE OF NOT MORE THAN 110 N.

ROOFING MATERIALS:

ALL ROOFING TO BE SELECTED, SUPPLIED AND INSTALLED TO PROVIDE A COMPLETE WATERTIGHT AND WEATHERPROOF BUILDING INCORPORATING ALL NECESSARY CAPPINGS, TRIMS, FLASHINGS, SARKING, SEALING AND JOINT MATERIALS. ALL METAL RAINWATER GOODS ARE TO BE SELECTED, SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS.

ALL PRACTICES TO BE COMPLIANT WITH ALL RELEVANT AUSTRALIAN STANDARDS, WORKSAFE CODES AND OH&S REGULATIONS INCLUDING BUT NOT LIMITED TO AS 1891.4:2009 INDUSTRIAL FALL ARREST SYSTEMS AND DEVICES; WORKSAFE CODE OF PRACTICE, SAFE WORK ON ROOFS, PART 1, COMMERCIAL AND INDUSTRIAL BUILDINGS.

ALL METAL RAINWATER GOODS TO BE SELECTED, SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS 2179.1 ROOF CONSTRUCTION. ROOF AND WALL INSULATION IS TO COMPLY WITH BCA VOL. 1 SECTION J REQUIREMENTS. PROVIDE ALL MATERIALS AND ACCESSORIES TO ENSURE COMPLETE WATERTIGHTNESS.

AREAS AND REFERENCE LEVELS:

AREAS QUOTED ARE APPROXIMATE ONLY. FOR ACCURATE AREA MEASUREMENTS, A LICENSED SURVEYOR MUST BE ENGAGED.

ALL LEVELS AND RLS INDICATED RELATE TO THE AUSTRALIAN HEIGHT DATUM (AHD). A BENCHMARK IS TO BE ESTABLISHED ADJACENT TO THE SITE TO AUSTRALIAN HEIGHT DATUM TO ENABLE COMPARISON WITH THE FLOOD STANDARD.

ALL SURVEY INFORMATION AND LEVELS ARE REFERENCED FROM THE SURVEY PLAN AND ARE TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND/OR MANUFACTURING. REPORT ANY DISCREPANCIES TO THE SUPERINTENDENT IMMEDIATELY.

THE FLOOR LEVEL IS TO BE CERTIFIED BY A REGISTERED SURVEYOR PRIOR TO POURING OF FLOOR SLABS OR INSTALLATION OF FLOORING.

SETTING OUT:

THE CONTRACTOR IS TO CHECK AND VERIFY ALL SETOUT, DIMENSIONS AND LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF ANY RELEVANT PART OF THE WORKS.

A LICENSED SURVEYOR IS TO ESTABLISH THE EXACT POSITION OF ALL SET BACKS AND PROPERTY BOUNDARIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. BUILDING SETBACKS ARE TO BE SET OUT FROM THE BOUNDARY TO THE FINISHED EXTERNAL FACE OF EXTERNAL WALLS.

ALL SET OUT DIMENSIONS AND LEVELS ARE TO BE CHECKED BY THE LICENSED SURVEYOR ON SITE AND ALL OVERALL AND CRITICAL DIMENSIONS ARE TO BE SET OUT FOR SUPERINTENDENT APPROVAL PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

NO PART OF THE BUILDING IS TO BE CONSTRUCTED OVER A SPECIFIED SETBACK LINE, EASEMENT OR PROPERTY BOUNDARY EXCEPT WHERE SPECIFICALLY SHOWN ON THE DRAWINGS. REPORT ANY DISCREPANCIES IN THE BUILDING SETOUT TO THE SUPERINTENDENT IMMEDIATELY.

THE RELATIVE LEVELS (RL) OF PROPOSED PAVING AND OTHER GROUND FINISHES ARE INDICATIVE ONLY. REFER TO THE CIVIL, STRUCTURAL, HYDRAULIC ENGINEERS' AND LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARDSTAND LEVELS, GRADIENTS AND FALLS.

SOIL CLASSIFICATION:

THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT. FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.THE H.G.F.L. RECOMMENDS THAT THE FOOTINGS/SLABS DRAINAGE TO BE DESIGNED AND INSPECTED BY ANY ENGINEER TO SATISFY THEIR REQUIREMENTS.

SLIP RESISTANCE OF FLOOR SURFACES:

THE DEVELOPMENT IS TO COMPLY WITH THE MINIMUM RECOMMENDATIONS IN THE NDIS DESIGN STANDARDS EDITION 1.1 OCTOBER 2019.

TIMBER FLOOR,WALL AND ROOF FRAMING

ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE AS1684 - TIMBER FRAMING CODE AND SUPPLEMENTARY TABLES.

SANITARY COMPARTMENTS

DOORS TO SANITARY COMPARTMENTS MUST BE OPENABLE,SLIDE OR BE READILY REMOVABLE FROM OUTSIDE TO COMPARTMENT UNLESS THERE IS A CLEAR PACE OF AT LEAST 1.2M BETWEEN THE CLOSEST PAN WITH THE SANITARY COMPARTMENT AND THE NEAREST PAT OF A DOORWAY.SANITARY COMPARTMENTS TO COMPLY WITH BCA 3.8.3.3

WARRANTIES & CERTIFICATES:

PRIOR TO PRACTICAL COMPLETION THE RELEVANT SUBCONTRACTOR MUST PROVIDE CERTIFICATION THAT THE WORKS HAVE BEEN DESIGNED, SELECTED AND INSTALLED IN ACCORDANCE WITH THE BCA, RELEVANT AUSTRALIAN STANDARDS AND ANY MANUFACTURER'S RECOMMENDATIONS.

PRIOR TO PRACTICAL COMPLETION THE RELEVANT SUBCONTRACTOR MUST PROVIDE COPIES OF ALL MANUFACTURER'S WRITTEN WARRANTIES.

ALL CERTIFICATION REQUIRED FOR OCCUPATION CERTIFICATE TO THE SATISFACTION OF THE CERTIFYING AUTHORITY TO BE SUBMITTED BY PRACTICAL COMPLETION, INCLUDING BUT NOT LIMITED TO: STRUCTURAL CERTIFICATION, MECHANICAL CERTIFICATION, ALARM SIGNALING EQUIPMENT, AUTOMATIC FIRE SUPPRESSION SYSTEM, FIRE DETECTION & ALARM SYSTEM, BUILDING OCCUPANT WARNING SYSTEM, EMERGENCY LIGHTING, EXIT SIGNS, FIRE SEALS, FIRE HOSE REELS, FIRE HYDRANT SYSTEMS, FIRE DOORS, SMOKE DOORS, PATHS OF TRAVEL, PORTABLE FIRE EXTINGUISHERS, ELECTRICAL CERTIFICATION, PLUMBING CERTIFICATION, GLAZING CERTIFICATION, LIFT AND LIFT SHAFT CERTIFICATION, BALUSTRADE CERTIFICATION AS APPLICABLE TO THE PROJECT.

SEISMIC CONSIDERATIONS ARE TO BE ADOPTED AS APPROPRIATE INCLUDING NON-STRUCTURAL PARTS AND SERVICES COMPONENTS AS SPECIFIED IN SECTION 8 OF AS 1170.4.

FOR CONSTRUCTION

Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A A	SDA ASSESSMENT	07.06.2024		9 FRONSAC AVENUE CORIO VIC 3214	GENERAL NOTES	A600	AA
						Scale	Drawing Size A3
						Project No. 240501 -	Drawn BYS
					Dimensioned drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately.	CAD Reference 8/06/2024 6:52:22 PM	